

Specifications for Old Town Newhall Library Project Jail Protection

1. RELATED DOCUMENTS

- A. See Chattel and Krakower drawings
 - SK-1, S Concrete Wall and N CMU Wall Side Confinement
 - SK-2, Location of Test Pits
 - SK-3, S Concrete Wall and N CMU Wall Footings
 - SK-4, Historic Jail Dimensions and Limits of N and S Wall Removal
- B. See LPA Landscape Planting Plan L-6.01

2. SUMMARY

- A. This section includes the following:
 - 1. General Requirements
 - 2. Existing Conditions
 - 3. Procedures Related to North CMU Wall and South Concrete Wall
 - 4. Procedures Related to Landscaping
- B. Related sections include:
 - 1. Old Town Newhall Library Project: Conformance Review for Old Newhall Jail

3. REFERENCE STANDARDS

- A. *Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings* (Washington D.C.: U.S. Department of the Interior, National Park Service, Preservation Assistance Division, 1990, and as revised, hereinafter, *Secretary's Standards*).
- B. California Historical Building Code (Title 24, Part 8).

4. DEFINITIONS

- A. Terminology.
 - 1. Contractor: Contractor shall include General Contractor, Subcontractor and any Sub-Subcontractor responsible for grading
 - 2. City: City of Santa Clarita
 - 3. Architect: LPA, Inc., 5161 California Avenue, Suite 100, Irvine, CA, 92617, (949) 261-1001
 - 4. Preservation consultant: Chattel Architecture, Planning & Preservation, Inc., 13417 Ventura Boulevard, Sherman Oaks, 91423, (818) 788-9795
 - 5. Jail: Old Town Newhall Jail, including non-historic portions
 - 6. Historic Jail: Historic portion of Jail (refer to SK-3)
 - 7. Historic building fabric: All materials which form the historic Jail, including but not limited to, interior and exterior components and their finishes whether decorative or not, and structural elements such as reinforced concrete
 - 8. North CMU wall: Concrete masonry unit foundation wall and footing north of Jail property (City-owned).

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9. South concrete wall: Concrete retaining wall and footing south of Jail property (City-owned).
10. Low impact equipment: hand tools including but not limited to shovels, sledge hammers, and picks, and mechanized tools including but not limited to 165 PSI air compressor, 90 pound jackhammer, and 35 pound chipping hammer.

5. GENERAL REQUIREMENTS

- A. No work shall be done on Jail property .
- B. The City will maintain contact with the Jail owner prior to and throughout construction to determine when and if any damage occurs to the Jail.
- C. Jail property shall be cordoned off with barrier mesh fencing (Euromesh[®] or equal) from beginning to end of work. Fencing shall be erected along line established by point A to north and south of Jail property (refer to SK-1) and at east and west Jail property line. Barrier shall be temporarily removed only when work at Jail property perimeter requires it.
- D. Contractor shall not permit vehicular equipment storage, parking, or staging activities on Jail property. Contractor shall also not permit vehicular equipment storage, parking, or staging activities within zone defined by point A and property line to north of north CMU wall and south of south concrete wall (refer to SK-1).
- E. Contractor shall avoid damaging historic building fabric, including but not limited to protecting materials in their as found state. If work is in any way harmful to historic building fabric, Contractor shall immediately cease work and notify Preservation Consultant.
- F. All work shall conform to the *Secretary's Standards* and California State Historical Building Code.
- G. All work shall comply with local building codes and ordinances, and follow industry-wide standards.
- H. Contractor shall present a written Means and Methods description of proposed excavation for review and approval by the City and its representatives.
- I. Contractor shall verify all existing conditions before starting work. Contractor shall notify Architect and Preservation Consultant of any discrepancies before proceeding.
- J. Contractor shall attend pre-construction meeting with Preservation Consultant, and notify Consultant at least 24 hours prior to commencement of construction.
- K. Preservation Consultant shall monitor all construction near Jail property line. Geotechnical Engineer shall monitor excavation of side confinement slope around Jail (see below, Procedures Related to North CMU Wall and South

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Concrete Wall), and shall receive copies of all documents and specifications related to grading work in this area.

6. EXISTING CONDITIONS

- A. Contractor shall carefully document as found condition of historic portion of Jail, wood framed additions, paving, and utilities that are outside of City property. Document shall include, but not be limited to, photographs, drawings of Jail and site, careful documentation of all cracks, areas of deterioration, and utilities. This document shall serve as a baseline monitoring device to assess the effects of all subsequent construction in proximity of adjacent property. The document shall be submitted as a shop drawing for review and approval by the City and its representatives prior to the start of construction.
- B. Contractor shall establish monitoring frequency schedule for inspection of Jail at critical phases of the surrounding site preparation and new construction prior to the start of construction.

7. PROCEDURES RELATED TO NORTH CMU WALL AND SOUTH CONCRETE WALL

- A. Within zone defined by point A to north of north CMU wall and south of south concrete wall, contractor shall use low-impact equipment for removal of asphalt and sub grade fill (refer to SK-1).
- B. Contractor shall retain portions of north CMU wall and south concrete wall to east-west limits defined in sketch SK-3.
- C. The City shall provide a Civil Engineer's report for Preservation Consultant that documents existing grade of Jail property and existing water flow. Based on results of this report, limits of removal of north CMU wall and south concrete wall may be revised.
- D. Contractor shall retain south concrete wall to height of 6-8 inches above adjacent Jail gutter following the elevation slope of gutter.
- E. Contractor shall retain north CMU wall to height of 6-8 inches above adjacent Jail swale. If the City desires to replace CMU wall, wall may be slot cut, removed in an A-B-A pattern, and replaced with cast-in-place concrete or new filled CMU.
- F. Contractor shall provide side confinement of north CMU wall and south concrete wall as depicted in SK-1. Confinement consists of a soil slope to remain in place. Soil slope shall commence 42 inches (measurement "H") away from Jail property line. Slope shall then run 42 inches and have height of 42 inches from level of existing pavement to bottom of slope. Soil slope shall have a 1:1 or 45 degree angle. Soil slope shall remain in place during construction. Contractor shall prevent erosion of soil slope during construction.
- G. Contractor may remove lower layer of asphalt adjacent to south concrete wall (refer to SK-1 and SK-2). Contractor shall leave lower layer of asphalt in place

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within soil slope until adjacent overexcavation and recompaction is complete.

- H. If portions of north CMU wall and south concrete wall are removed with rotary saw, Contractor shall provide protection for adjacent Jail walls and finishes during wall removal. Protection shall prevent damage from water and projectile particulate. Contractor shall immediately vacuum up water generated from rotary sawing.

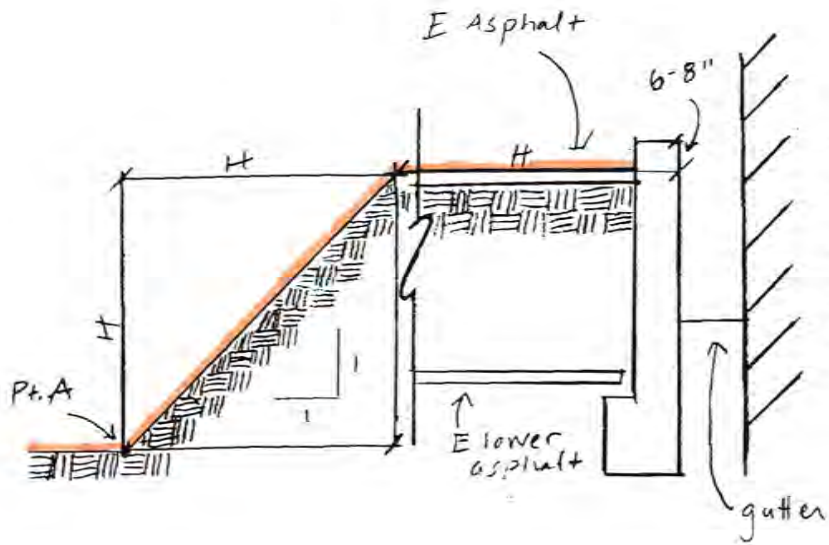
8. PROCEDURES RELATING TO LANDSCAPING

- A. Contractor shall provide root barriers for all plantings along east-west Jail property line. Contractor shall place roots through root barrier to level 6 inches below bottom of north CMU wall footing.

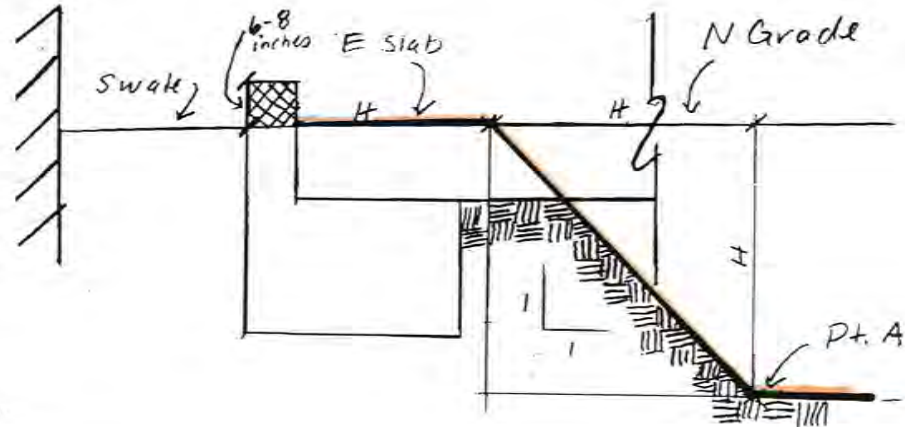
S Concrete Wall and N CMU Wall Side Confinement

SE Side
N.T.S.

②



NE Corner ①
N.T.S.



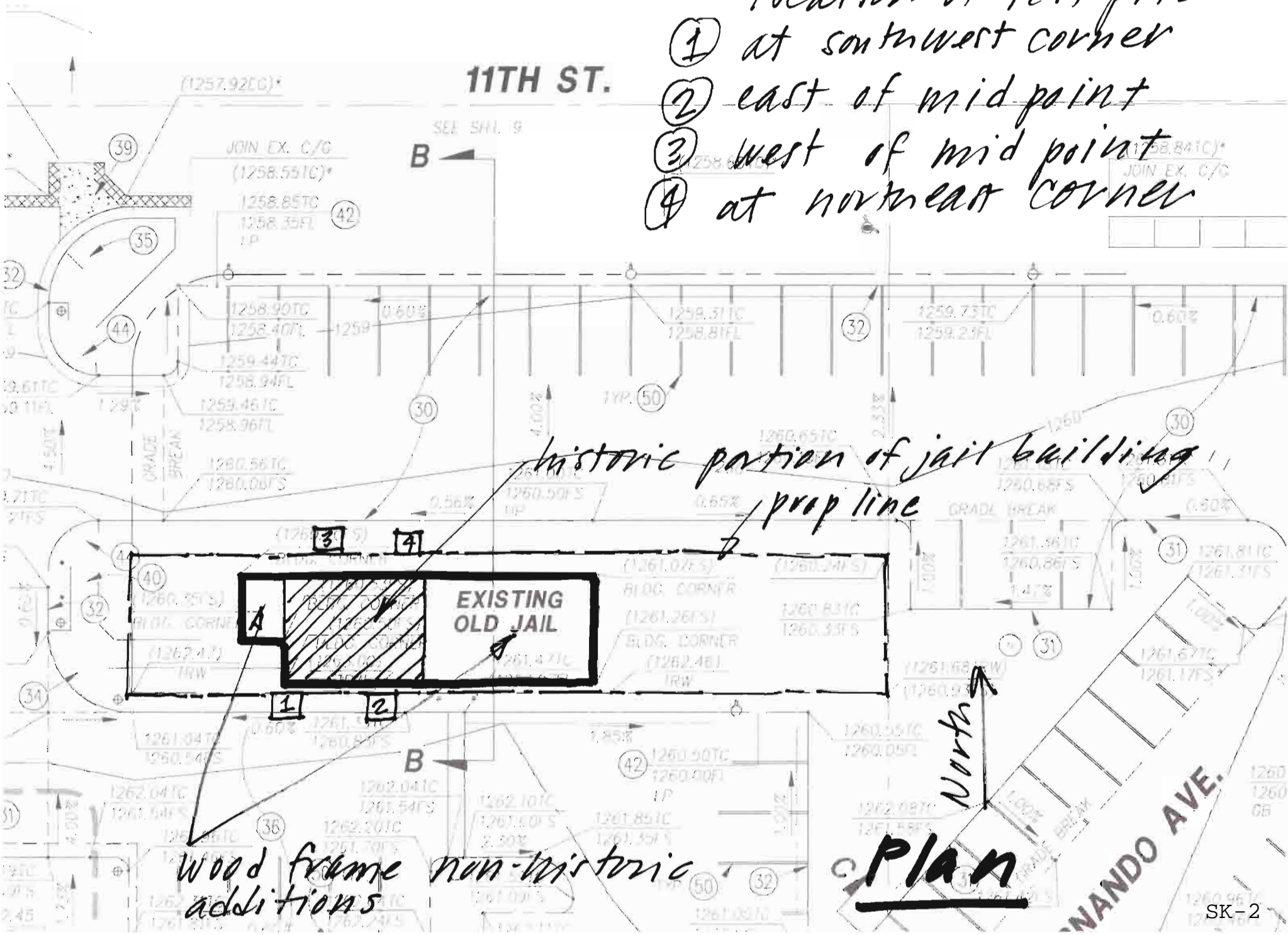
— = confinement slope

H = 42"

Flahel Architecture
March 9, 2010

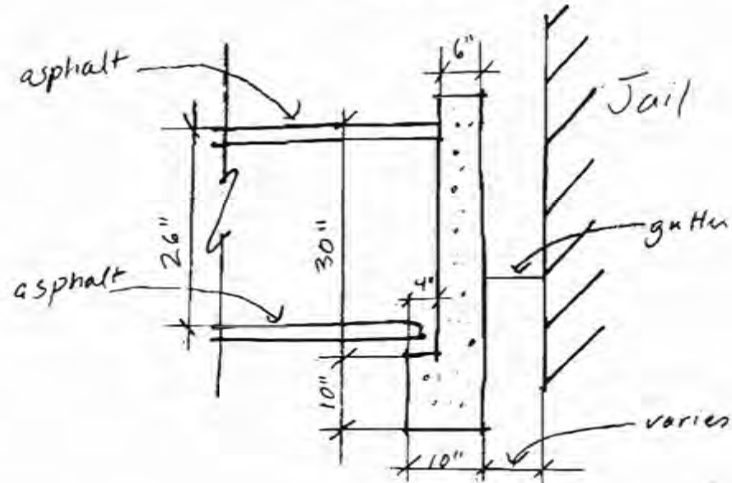
location of test pits

- ① at southwest corner
- ② east of midpoint
- ③ west of midpoint
- ④ at northeast corner

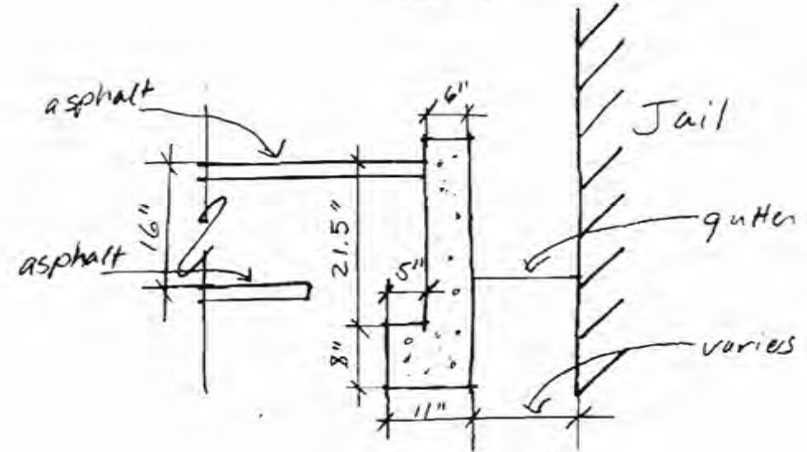


S concrete Wall and N CMU Wall Footings

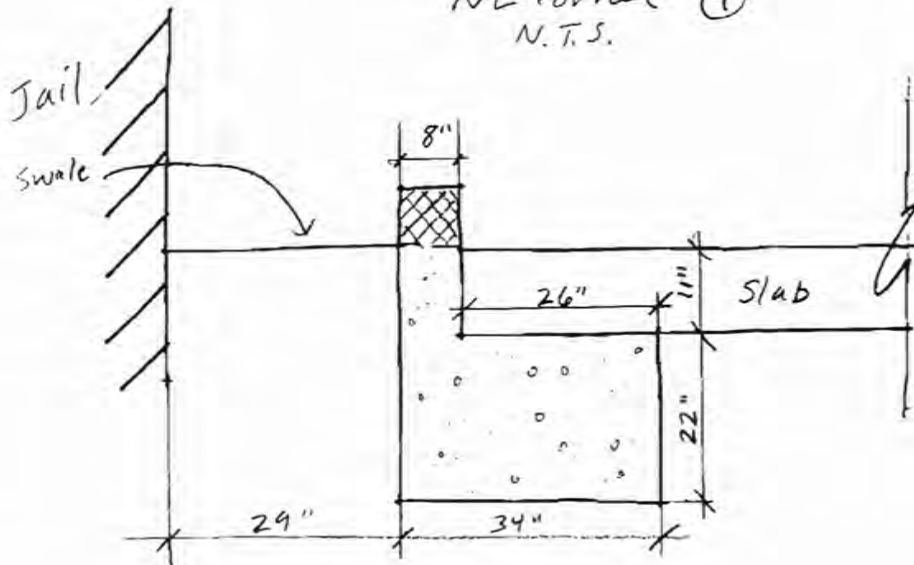
SE Side ②
N.T.S.



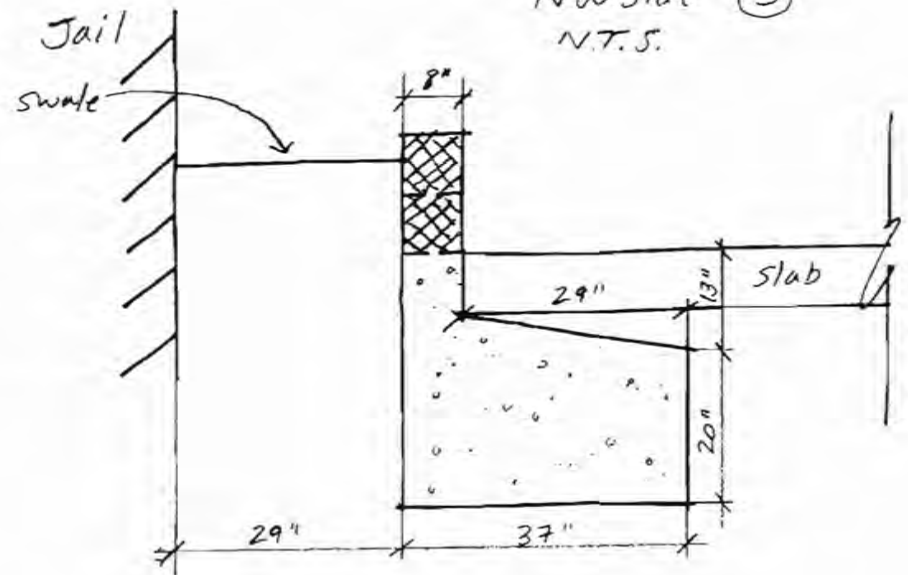
SW Corner ①
N.T.S.



NE corner ④
N.T.S.

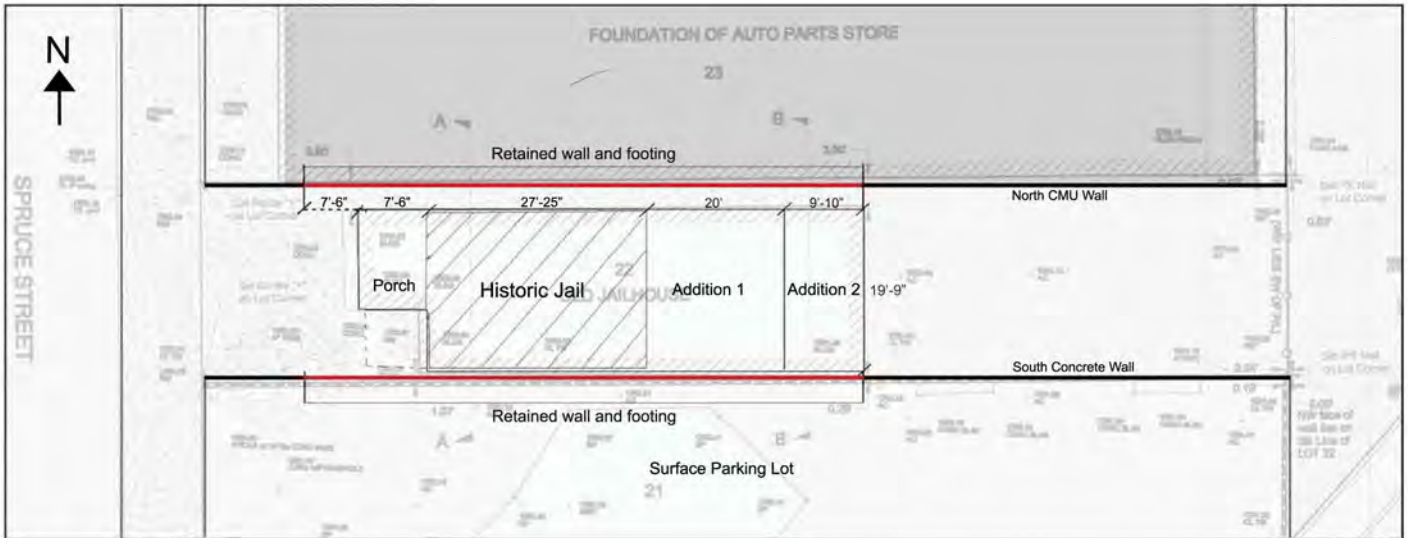


NW Side ③
N.T.S.



Chattel Architecture
Feb. 25, 2010

Historic Jail Dimensions and Limits of N and S Wall Removal



— Retained Wall and Footing
| Limit