



**Old Town Newhall Library Project:
Conformance Review for Old Newhall Jail**

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Chattel Architecture Planning & Preservation, Inc.

Introduction

The Old Town Newhall Library Project (Library Project) entails construction of a two story library at 22601 Lyons Avenue south of the Old Newhall Jail (Jail), which is located at 24522 Spruce Street (Attachment A, fig. 1). Proposed work adjacent to the Jail includes parking lots to the north, south, and east of the Jail, with a landscaped zone between the Jail’s property line and parking lots.

This report analyzes the proposed new construction for potential impacts to the Jail. The report commences with an overview of the regulatory setting of the project, followed by a description of the Jail and its history. Finally, the report describes and potential direct and indirect physical impacts to the Jail, and analyzes the project for conformance with the Secretary of the Interior’s Standards for Treatment of Historic Properties (Secretary’s Standards). It is important to note that this analysis is based solely upon the currently proposed site plan. Chattel Architecture (Chattel) has worked with Krakower & Associates (Krakower) to establish a protection plan for the Jail. Krakower’s letter of January 18, 2009 and sketch of February 10, 2010 are included as Attachments B and C.

The Jail was first surveyed in a 1986 Department of Parks and Recreation survey evaluation. In this survey, the subject property was given a California Historic Resource Status Code evaluation of “3,” meaning the property was found eligible for listing in the National Register of Historic Places through survey (DPR survey form, Attachment D). The Jail was most recently surveyed in 1991, when it was given a “3S” evaluation (also denoting eligibility for National Register listing through survey). The Jail is thus an “historical resource” under provisions of CEQA.

Regulatory Setting

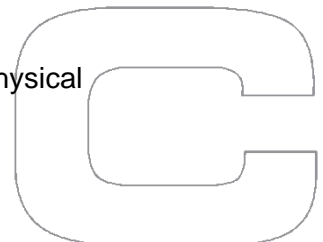
California Environmental Quality Act (CEQA)

According to CEQA,

an historical resource is a resource listed in, or determined eligible for listing in, the California Register of Historical Resources. Historical resources included in a local register of historical resources..., or deemed significant pursuant to criteria set forth in subdivision (g) of Section 5024.1, are presumed to be historically or culturally significant for purposes of this section, unless the preponderance of the evidence demonstrates that the resource is not historically or culturally significant (California Public Resources Code, PRC §21084.1).

If the proposed project were expected to cause *substantial adverse change* in an historical resource, environmental clearance for the project would require mitigation measures to reduce impacts. “Substantial adverse change in the significance of an historical resource means the physical demolition, destruction, relocation, or alteration of the resource or its immediate surroundings such that the significance of an historical resource would be materially impaired” (PRC§15064.5 (b)(1)). PRC §15064.5 (b)(2) describes *material impairment* taking place when a project:

- (A) Demolishes or materially alters in an adverse manner those physical



Old Town Newhall Library Project:
Conformance Review for Old Newhall Jail

characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register... or

- (B) Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register... or its identification in an historical resources survey... unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
- (C) Demolishes or materially alters those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register... as determined by a lead agency for the purposes of CEQA.

According to CEQA Guidelines §15064.5(b)(3):

Generally, a project that follows the *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings* or *The Secretary of the Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings*, (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the historical resource.

Thus, the CEQA Guidelines indicate that effects on historic resources resulting from a project that is found to be in conformance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (*Secretary's Standards*) are generally considered to be mitigated to a less than significant level.

Secretary's Standards

The Secretary's Standards are promulgated pursuant to the National Historic Preservation Act, 16 U.S.C. 470 et seq. and provide general guidance on treatments for historical resources and their immediate surroundings or setting. State environmental law utilizes the *Secretary's Standards* as a means of evaluating proposed projects and potential impacts on historical resources. A project that conforms with the Secretary's Standards has a less than significant impact under CEQA.

The *Secretary's Standards* are not prescriptive or technical, but "are intended to promote responsible preservation practices" and "provide philosophical consistency" to treatments for historical resources (National Park Service (NPS), 2003). NPS identifies four treatment approaches, which include preservation, rehabilitation, restoration and reconstruction. These treatments, in hierarchical order, are defined as follows:

The first treatment, **Preservation**, places a high premium on the retention of all historic fabric through conservation, maintenance and repair. It reflects a building's continuum over time, through successive occupancies, and the respectful changes and alterations that are made.

Rehabilitation, the second treatment, emphasizes the retention and repair of historic materials, but more latitude is provided for replacement because it is assumed the property is more deteriorated prior to work. (Both Preservation and Rehabilitation standards focus attention on the preservation of those materials, features, finishes,

Old Town Newhall Library Project:
Conformance Review for Old Newhall Jail

spaces, and spatial relationships that, together, give a property its historic character.)

Restoration, the third treatment, focuses on the retention of materials from the most significant time in a property's history, while permitting the removal of materials from other periods.

Reconstruction, the fourth treatment, establishes limited opportunities to re-create a non-surviving site, landscape, building, structure, or object in all new materials.¹

Building description

The Jail is located in the triangle of land edged by San Fernando Road to the east (now Main Street), 11th Street to the north, and Spruce Street to the west (fig. 2). The two-room Jail is constructed of reinforced concrete, with a low pitched gable roof. The Jail has a stepped, false front cornice with a central opening resembling a bell tower niche (fig. 3).

The main entrance is at the south end of the west elevation. It is recessed beneath a shed roofed, partially in-filled porch supported by square wood columns. There are three arched windows on the south elevation covered with wrought iron bars (fig. 4). The north elevation is windowless (fig. 5). The Jail is covered with stucco.

Alterations

For the purposes of this report, it is important to define the historic portion of the Jail property. The historic portion of the Jail is the reinforced concrete building constructed in 1906. A series of three wood frame additions were added to the Jail. These include the shed-roofed front porch described above, an addition with a gable roof located east of historic Jail (Addition 1), and an addition with a flat roof east of Addition 1 (Addition 2) (fig. 6). The front porch addition and Additions 1 and 2 do not contribute to the historic character of the property or the qualities that make the Jail significant and are treated as insignificant, non-contributing features of the historical resource.

An historic photograph from the 1960s shows the front porch addition, indicating that it was built prior to that point (fig. 7). A 1983 photograph reveals that Addition 1 was added prior to that year, and Addition 2 was added after that year (fig. 8).

Original drawings called for a door with a ¼" thick steel covering. The main entrance currently features a modern metal inner door and aluminum-framed outer door.² On the interior, iron bars were removed at some point by a film company using the Jail for a filming location. By 1983 the bars had been replaced or reinstalled (fig. 9).^{3 4}

Building History

The Jail's setting was relatively rural in its first two decades; a 1918 Sanborn map shows only one house across San Fernando Road to the east (fig. 10). By 1927, the surroundings were increasingly urbanized, with an auto repair facility to the northeast, a gas station across San Fernando Road to the east, and houses directly to the north and across San Fernando Road to the south (figs. 11-12).

¹ <http://www2.cr.nps.gov/tps/standguide/overview/choose_treat.htm>

² "Old Newhall Jail."

³ "Newhall Jail," Santa Clarita Valley Historical Society catalogue, date unknown.

⁴ Due to lack of access, it was not possible to assess alterations to Jail interior.

Old Town Newhall Library Project:
Conformance Review for Old Newhall Jail

In the first decades of the 20th century, Newhall was the site of much criminal activity, in part due to its lynchpin location at the Newhall Pass on the Southern Pacific Railroad passage between Los Angeles and northern California.⁵ During Prohibition, the Jail was used as a temporary storeroom for confiscated whiskey as well as housing prisoners (fig. 13).⁶ Scandals such as the Bonita Darling murders, in which a suitor enamored of a local film starlet shot two constables, occurred in town during the Jail's period of use and afforded Newhall a certain amount of notoriety.⁷ The Newhall Jail was also in use at the time of the Saugus train robbery of 1929, when outlaw Thomas Vernon derailed a train and netted \$300 before escaping.⁸

Records from the Newhall Sheriff's Station (Substation No. 6) show that the Jail was no longer used after 1939, when prisoners were housed in the Sheriff's Station instead.⁹ The Jail was sold by the County Board of Supervisors and purchased by Mr. and Mrs. August Henkel of Newhall in 1959 for \$1,500.¹⁰ After 1955, the Jail was used for a variety of commercial purposes, including a law office and florist shop.

Architect

Architects Frank D. Hudson (1865-1941) and William A. Munsell practiced together in Los Angeles for over three decades. Hudson and Munsell, important local architects, designed several monumental buildings in Los Angeles including the County Hall of Records (1907), the Los Angeles County Museum at Exposition Park (now the Natural History Museum, 1913), and the Los Angeles County Hospital administration building (commissioned in 1909).¹¹

Analysis of Proposed Project Impacts

Project description

The Old Town Newhall Library Project (Library Project) entails construction of a two story library south of the Jail at 22601 Lyons Avenue. The Library Project also includes construction of two new surface parking lots, including a parking lot at the south end of Spruce Street that wraps the north and west elevations of the library, and a triangular parking lot that surrounds the Jail to the north, east, and south. The Library Project will also include grading and surfacing to Spruce Street where it meets new parking lots. New library construction consists of approximately 29,435 gross square feet. Proposed work adjacent to the Jail includes a landscaped zone between the Jail's property line and the new parking lots. In areas of new parking lot, grading will require the removal and replacement of at least three feet of surface fill.

Direct impacts

Since the Jail is eligible for listing in the National and California Register, the potential for direct impacts to the historical resource by surrounding construction activities exists. Potential direct impacts were analyzed for conformance with the *Secretary's Standards* rehabilitation Standard 5, which states that "distinctive materials, features, finishes, and construction techniques or

⁵ Pat Saletore, Executive Director, Santa Clarita Valley Historical Society, personal conversation, March 3, 2010.

⁶ "Pair purchase Old Newhall Jail at sale," Los Angeles Times, July 22, 1955, 12.

⁷ Saletore, personal conversation.

⁸ "Great Saugus Train Robbery," Santa Clarita Valley History in Pictures, Santa Clarity Historical Society, <http://www.scvhistory.com/scvhistory/pa2901.htm>, accessed March 3, 2010.

⁹ "Old Newhall Jail" (www.scvhistory.com/scvhistory/sd0200.htm), accessed November 17, 2009.

¹⁰ "Pair purchase Old Newhall Jail at sale," 12.

¹¹ Henry and Elsie Rathburn Withey, *Biographical Dictionary of American Architects*. Los Angeles, Hennessey & Ingalls, 1970, 307.

Old Town Newhall Library Project:
Conformance Review for Old Newhall Jail

examples of craftsmanship that characterize a property will be preserved.”

Construction of the Library will occur at a distance of approximately 60 feet from the Jail. However, activities including sub grade overexcavation and recompaction, removal of sections of north CMU and south concrete walls, as well as impaction and pile driving (if planned) have the potential to directly affect the Jail. In addition to the potential for damage through vibration, excavation and construction methods used for the adjacent new construction could result in settling or displacement of the foundations of the Jail and lead to material alteration of this resource.

We understand that there will be no pile driving and impaction in Library construction. Therefore, no damage is anticipated from this source. Assuming that Chattel and Krakower’s “Specifications for Old Town Newhall Library Project Jail Protection” are followed during planning, excavation, and construction, it does not appear that overexcavation and recompaction will result in material alteration of the adjacent historical resources in manner that would violate *Secretary’s Standards* 5. Therefore, it appears that the proposed project will be in conformance with the *Secretary’s Standards*, and potential direct impacts from construction and excavation would be mitigated to a less than significant level.

Indirect impacts

As the proposed development consists of new construction adjacent to the Jail, the potential for indirect impacts needs to be addressed. In general, CEQA describes an *indirect* impact is an impact that results from the “...alteration of the resource or *its immediate surroundings* such that the significance of an historical resource would be materially impaired” (emphasis added - CEQA Guidelines §15064.5(b)(1)).

The potential for indirect impact to the Jail’s setting from the Library Project is low. The Jail’s setting lost significance in relationship to the Jail before initiation of the Library Project. With the close placement of a gas station to the south and Carquest auto parts facility to the north, the Jail lost its historic setting. Both the gas station and the Carquest facility have been demolished in preparation for the Library Project. Replacement of these structures with parking lots and landscaping will provide more open space around the Jail, and will actually restore this aspect of the Jail’s historic setting. As currently proposed, it does not appear that the Library Project will materially alter the setting of the Jail.

Conclusion

Assuming that Chattel and Krakower’s “Specifications for Old Town Newhall Library Project Jail Protection” are followed during planning, excavation, and construction, it does not appear that the Library Project will result in material alteration of the Jail. Therefore, it appears that the Library Project will be in conformance with the *Secretary’s Standards*, and potential direct impacts from construction and excavation would be mitigated to a less than significant level. In addition, the Library Project will not cause indirect impacts through material alteration of the Jail’s setting.

- Attachment A: Figures
- Attachment B: Krakower letter, January 18, 2010
- Attachment C: Krakower sketch, February 1, 2010
- Attachment D: Department of Parks and Recreation (DPR) form

Attachment A Figures

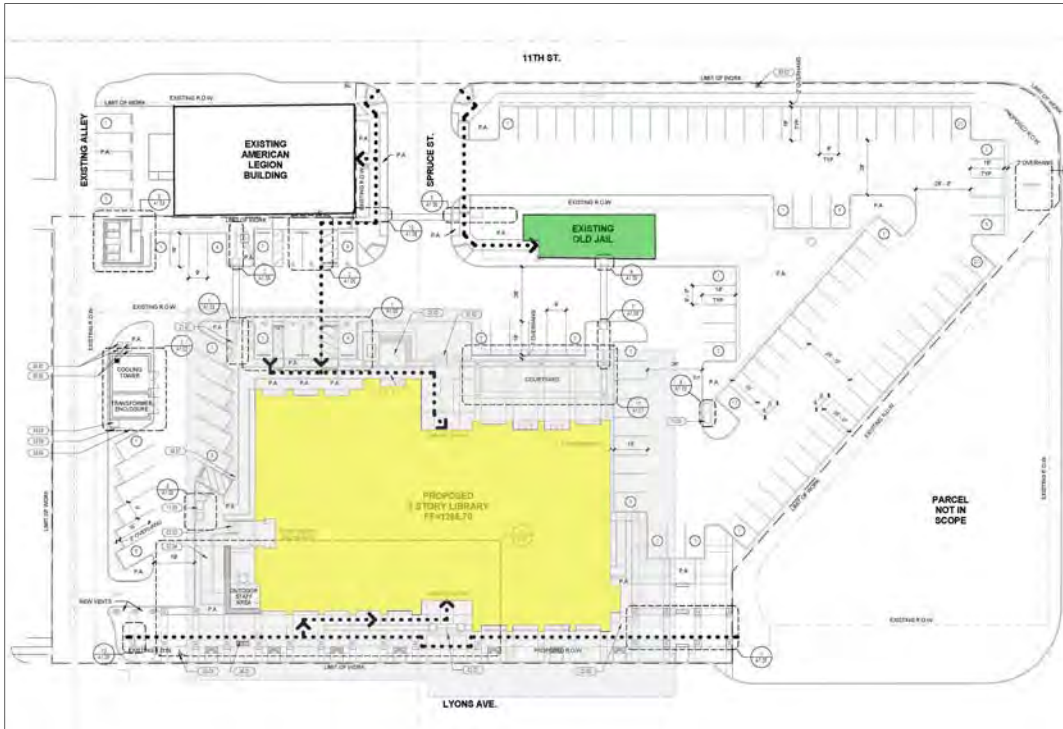


Figure 1: Library Project site plan drawing A1.01 by architects LPA, Inc. from October 16, 2009.



Figure 2: Aerial photograph of Old Newhall Jail from 2009. Jail is highlighted yellow. Note Carquest facility still stands to north (Google Maps, accessed March 2, 2010). North arrow points to assumed rather than true north.



Figure 3: Old Newhall Jail, west elevation, view east (CA, 2010).



Figure 4: Old Newhall Jail, south elevation, view north (CA, 2010).



Figure 5: Old Newhall Jail, north elevation, view south (CA, 2010).



Figure 6: Old Newhall Jail, east, view west (CA, 2010).



Figure 7: Old Newhall Jail, east elevation, view west, 1960s (Santa Clarita Valley Historical Society).

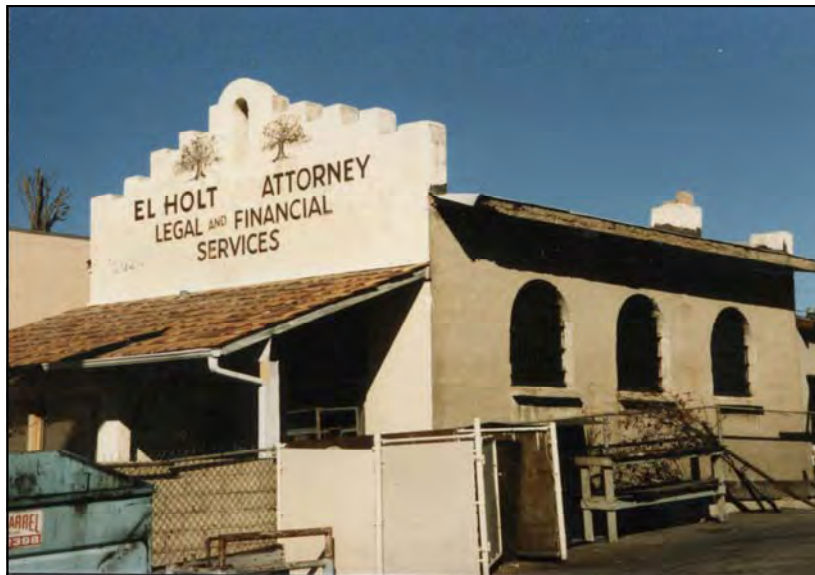


Figure 8: Old Newhall Jail, south and east elevations, view north-west, 1983 (Santa Clarita Valley Historical Society).



Figure 9: Old Newhall Jail, interior view, 1983 (Santa Clarita Valley Historical Society).

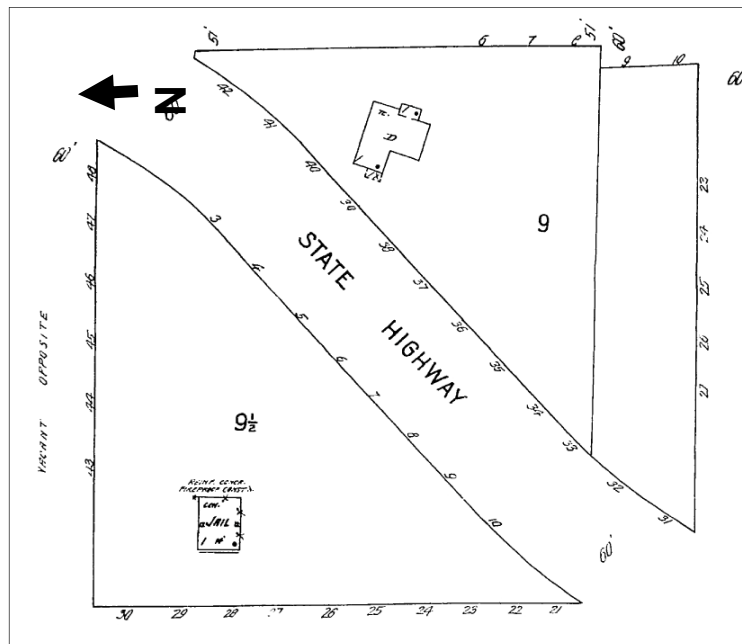


Figure 10: 1918 Sanborn map with Jail at lower left, described as "Reinf. Concr. Fireproof Const." (Proquest Digital Sanborn Maps 1867– 1970 database). Assumed north arrow added by Chattel Architecture.

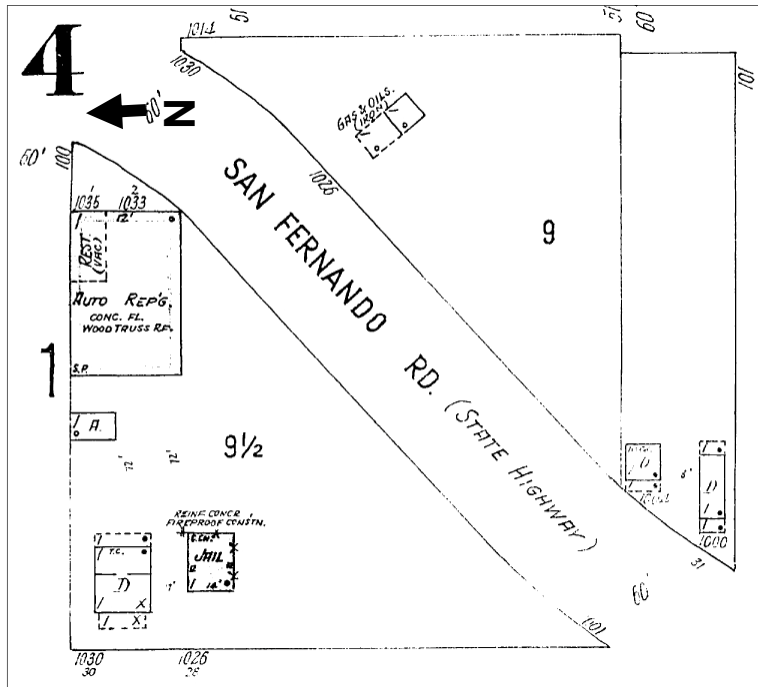


Figure 11: 1927 Sanborn map showing single family residence to west (Proquest Digital Sanborn Maps 1867– 1970 database). Assumed north arrow added by Chattel Architecture.

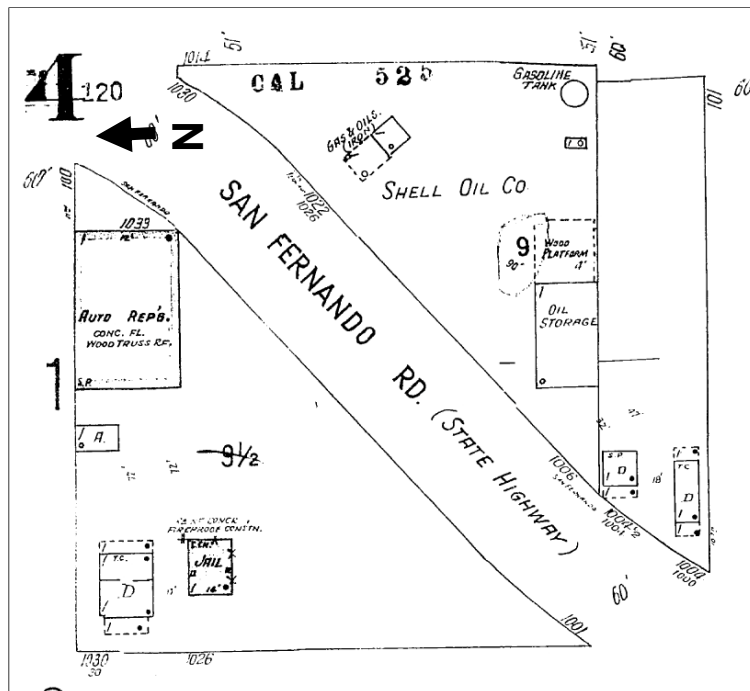


Figure 12: 1927-1934 Sanborn map of subject property showing additional Shell Oil Co. structures to north (Proquest Digital Sanborn Maps 1867– 1970 database). Assumed north arrow added by Chattel Architecture.

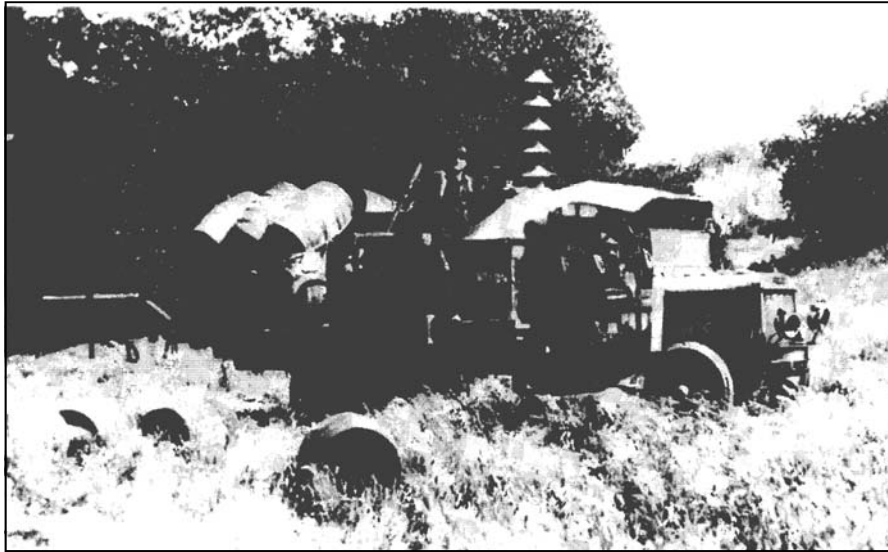


Figure 13: Constable Pilcher, Newhall Sheriff, with confiscated still and moonshine barrels around 1922 (Santa Clarita Historical Society).

Attachment B

Krakower letter
January 18, 2010



krakower & associates
structural engineers

160 white oak drive
arcadia, ca 91006

626 355-6088
fax 626 355-9394

January 18, 2010

Robert Chattel
Chattel Architecture and Planning
13417 Ventura Blvd.
Suite 3
Sherman Oaks, CA
91423-3287

Re: Old Town Newhall Library Site
Protection of the Historic Jail

Dear Mr. Chattel,

Representatives of the City of Santa Clarita, the geotechnical engineer and your staff met me at the site on Wednesday January 13, 2010 to view the exterior as- found conditions of the Newhall Jail and surrounding site. Access to the interior of the Jail was not available. Prior to the site visit, I briefly reviewed the geotechnical report prepared by Alan Seward Engineering Geology, Inc. along with some record documents for the Jail. Some preliminary site measurements were taken along with some digital photos.

The reinforced concrete portion of the one story Jail structure measures about 27'-2" by 19'-9" in plan. An 8 inch thick reinforced concrete roof slab is about 13'-6" average above the slab on grade and is supported by 12 inch thick concrete walls. There are wood framed appendages on the front and back of the building. On the south side of the Jail, a 6 inch thick by 1'-8" high concrete wall retains the present site sub-grade south of the Jail. The north face of this retaining wall is the property line according to city staff and is located about 14 inches from the face of the Jail wall. On the north side, an 8 inch block curb is about 2'-9" inches from the north face of the Jail and the south curb face is the property line according to staff. An estimate of the existing dead plus live load demand on the existing north and south perimeter foundation is 3500 pounds per foot for the concrete building based upon what we can access presently. This assumes the roof slab can span from the north to south wall. Roughly 95% of this demand is dead load and neglects any tributary weight of the floor and foundation. The geotechnical engineer can use these estimates for subsequent recommendations during construction.

Three feet of surface fill is to be removed and replaced around the Jail for the new parking area according to the geotechnical report. The existing condition of the Jail on the interior and exterior has to be documented to establish a monitoring baseline prior to the start of construction. This monitoring would include, but not be limited to, photographs, an as found survey, creation of drawings of the buildings and site, careful documentation of all cracks, areas of deterioration, and utilities. A monitoring frequency schedule has to be established for critical phases of the surrounding site preparation and new construction. Specifications for correction of perceived

damage to the Jail, created during the project, have to be established and agreed to prior to start of construction.

The limits of the surrounding sub-grade removal should be established by the geotechnical engineer and site designers to leave an existing sub-grade apron around the Jail site that eliminates the need for shoring near the property lines. Concerns about potential damaging vibration from construction equipment should be addressed. Alternatively, geotechnical recommendations for the report can be used to design shoring that is installed before the surrounding 3 feet of sub-grade is removed. Design of any shoring should be prepared independently by a California licensed civil or structural engineer and reviewed by the Old Town Newhall Library design team and client prior to start of construction.

Please let me know if you need further input.

Very truly yours,

Michael Krakower SE

File:newhalljailreport

Attachment C

Krakower sketch
February 1, 2010

NEW HALL JAIL PROTECTION CONCEPT

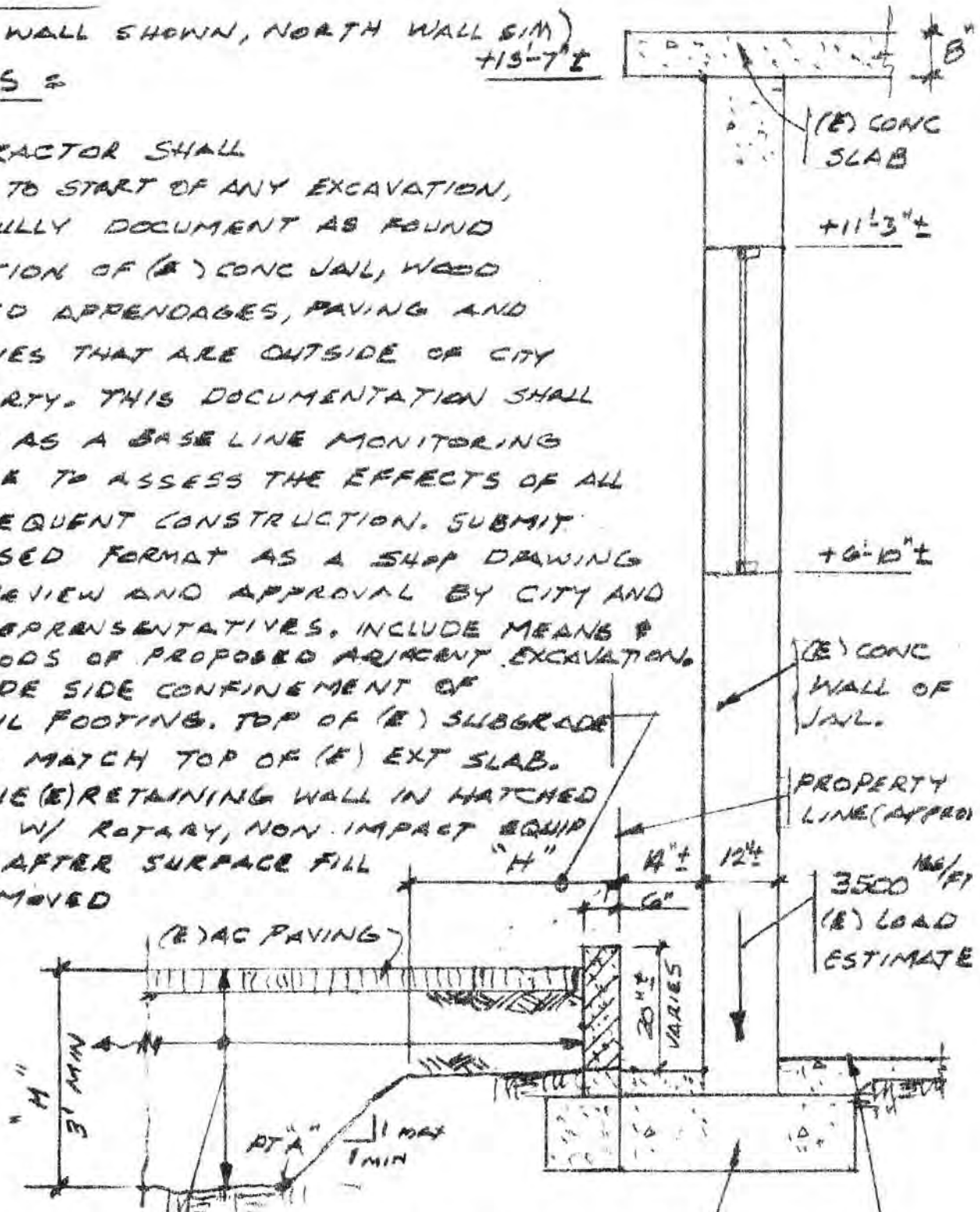
1 FEB 10

(SOUTH WALL SHOWN, NORTH WALL SIM)

+15'-7"±

NOTES =

1. CONTRACTOR SHALL PRIOR TO START OF ANY EXCAVATION, CAREFULLY DOCUMENT AS FOUND CONDITION OF (E) CONC JAIL, WOOD FRAMED APPENDAGES, PAVING AND UTILITIES THAT ARE OUTSIDE OF CITY PROPERTY. THIS DOCUMENTATION SHALL SERVE AS A BASE LINE MONITORING DEVICE TO ASSESS THE EFFECTS OF ALL SUBSEQUENT CONSTRUCTION. SUBMIT PROPOSED FORMAT AS A SHOP DRAWING FOR REVIEW AND APPROVAL BY CITY AND ITS REPRESENTATIVES. INCLUDE MEANS & METHODS OF PROPOSED ADJACENT EXCAVATION.
2. PROVIDE SIDE CONFINEMENT OF (E) JAIL FOOTING. TOP OF (E) SUBGRADE SHALL MATCH TOP OF (E) EXT SLAB. REMOVE (E) RETAINING WALL IN HATCHED AREA W/ ROTARY, NON-IMPACT EQUIP ONLY AFTER SURFACE FILL IS REMOVED



REMOVE SURFACE FILL PER SOILS REPORT. NO VEHICULAR EQUIP NORTH OF PT "A" ALLOWED TO DAMAGE (E) SLOPE. PROTECT (E) SLOPE FROM EROSION DURING CONSTRUCTION

ASSUMED JAIL FOOTING CONFIGURATION

INTERIOR OF JAIL NOT ACCESSIBLE

Attachment D

Department of Parks and Recreation (DPR) survey form

Ser. No. 1350-5 A
HABS _____ HAER _____ NR 3 SHL _____ Loc _____
UTM: A _____ B _____
C _____ D _____

HISTORIC RESOURCES INVENTORY

19-188109

IDENTIFICATION

1. Common name: El Holt, Attorney
2. Historic name: Newhall Jail
3. Street or rural address: 24522 Spruce Street
City Newhall Santa Clarita Zip 91321 County Los Angeles
4. Parcel number: 2831-006-009
5. Present Owner: Edward T. Henkel Address: P.O. Box 81
City Newhall Zip 91321 Ownership is: Public _____ Private X
6. Present Use: Commercial/office Original use: jail

DESCRIPTION

- 7a. Architectural style: Mission Revival
- 7b. Briefly describe the present *physical description* of the site or structure and describe any major alterations from its original condition:

This small rectangular shaped building has a low pitched gable roof with an unusual shaped Mission style parapet. The parapet has exaggerated steps with an arched bell tower at the top. The round arched windows have wrought iron bars. The stucco building has been altered on the facade with a shed roof of tile partially enclosed and supported by square wood columns.



8. Construction date: 1909
Estimated X Factual _____
9. Architect unknown
10. Builder unknown
11. Approx. property size (in feet)
Frontage _____ Depth _____
or approx. acreage 1078 sq.ft.
12. Date(s) of enclosed photograph(s)
1/86

- 13. Condition: Excellent Good Fair Deteriorated No longer in existence
- 14. Alterations: Shed roof porch addition
- 15. Surroundings: (Check more than one if necessary) Open land Scattered buildings Densely built-up
Residential Industrial Commercial Other: _____
- 16. Threats to site: None known Private development Zoning Vandalism
Public Works project Other: Proposed redevelopment area
- 17. Is the structure: On its original site? Moved? Unknown?
- 18. Related features: None

SIGNIFICANCE

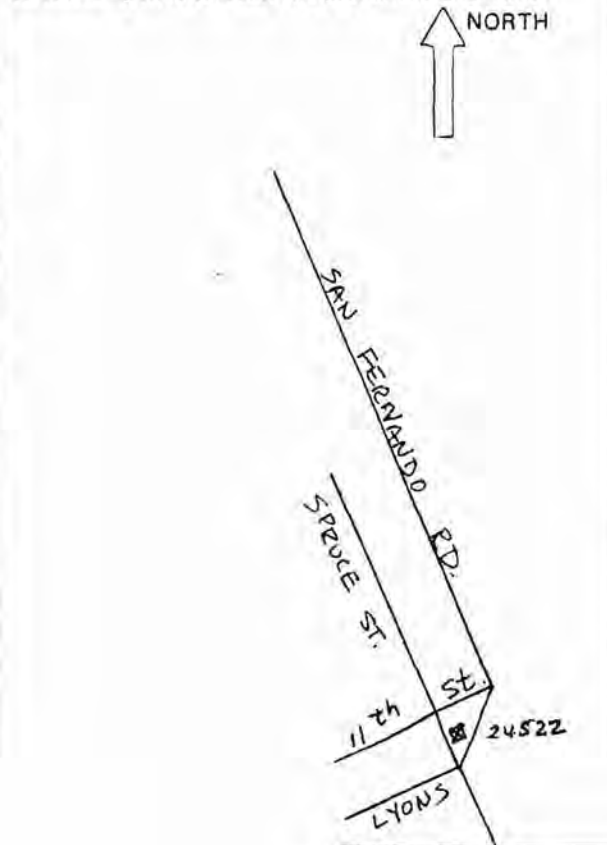
19. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site.)

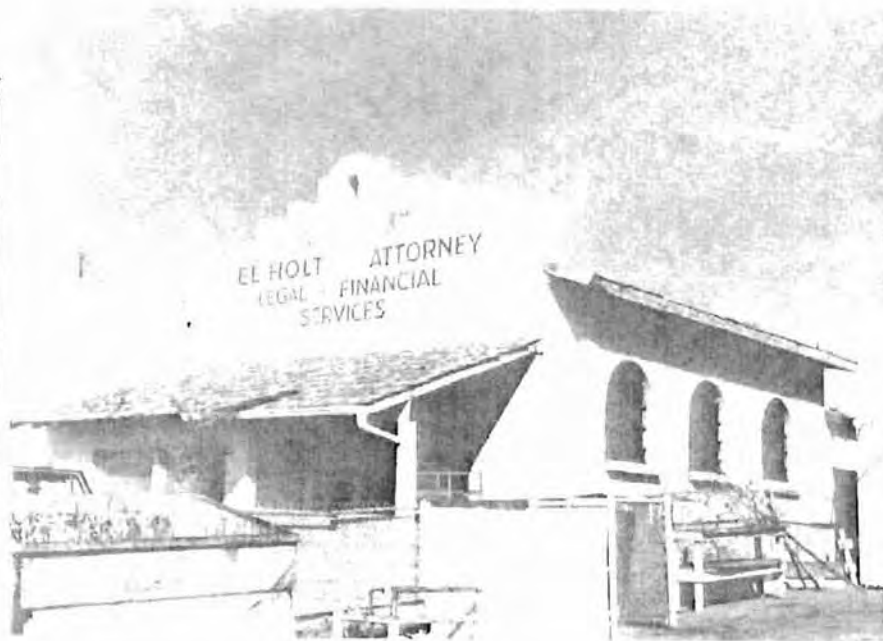
This building, although somewhat altered, is significant as the earliest remaining public building in Newhall. The Los Angeles County Assessor's Records indicate the building was constructed as a public building in 1909. An article in the Architect and Engineer of California for March, 1906, however said that sealed bids will be received until February 20 for the Newhall Jail. Plans on file in Supervisor's Office in Los Angeles.

Architecturally, the building is a modest example of the Mission Revival style and is significant as the only ^{one of two} example remaining from that period.

- 20. Main theme of the historic resource: (If more than one is checked, number in order of importance.)
Architecture 2 Arts & Leisure _____
Economic/Industrial _____ Exploration/Settlement _____
Government 1 Military _____
Religion _____ Social/Education _____
- 21. Sources (List books, documents, surveys, personal interviews and their dates).
Architect and Engineer of California,
March, 1906
L.A. County Assessor's Map Book #104,
1902-10, p. 24 See attached list
- 22. Date form prepared 4/18/86
By (name) Diane Hlava Judy Triem
Organization L.A. Co. Comm. Dev. Comm.
Address: 1436 Goodrich Blvd.
City Commerce Zip 90022
Phone: (213)725-7465

Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):





9.

10.